

TOWN OF ITHACA, NY
PRELIMINARY SITE PLAN CHECKLIST

PROJECT NAME _____

PROJECT NUMBER _____

STAFF REVIEWER _____

X = ITEM SUBMITTED

N/A = NOT APPLICABLE

W = WAIVE

COND = CONDITION OF APPROVAL

1. ___ One completed and signed Development Review Application.
2. ___ Payment of applicable Application fees.
3. ___ One fully completed and signed Short Environmental Assessment Form, Part I (SEAF), or Long Environmental Assessment Form, Part I (LEAF), whichever is required (determined by Planning staff).
4. ___ Proposed preliminary site plan, with the following information, must be filed in the Planning Department at least thirty (30) calendar days prior to the Planning Board meeting at which preliminary approval is requested. Information may be supplied on more than one drawing if necessary:
 - a. ___ Name(s) and address(es) of all owners of the property and persons who have an interest in the property, such as easements or rights-of-way,
 - b. ___ Key map, when more than one sheet is required to present site plan,
 - c. ___ Vicinity Map showing the general location of the property at a scale of 1"=1000' or 1"=2000',
 - d. ___ Name of project, which shall not duplicate the name of any other project or subdivision in the county,
 - e. ___ Name and seal of each registered land surveyor, engineer, architect, or landscape architect who prepared *any* of the site plan materials, including the topographic and boundary survey, drainage plans, etc.,
 - f. ___ Date of Site Plan and any related documentation, and dates of any applicable revisions,
 - g. ___ Map scale (1"=50' or 1"=100') in bar form, and North point,

- h. ___ Name of Town, County, and State,
- i. ___ Exact boundary lines of the tract, indicated by a heavy line, showing location and description of all monuments, giving property metes and bounds to the nearest 1/10th foot, angles to the nearest minute, and at least one bearing,
- j. ___ Location of any natural and cultural features within and immediately adjacent to the site including but not limited to streams, lakes, floodplains, ponds, wetlands, structures or sites listed or eligible for listing on the state or national registers of historic places, woodlands, brushlands, significant natural habitats, rare plants, viewsheds and unique natural areas, or other features pertinent to review of the proposed project,
- k. ___ Location, size, and use of all existing structures, parking areas, access drives, off-street loading areas, signs, lighting, pedestrian or bicycle facilities, and other existing features pertinent to plan review,
- l. ___ Location, size, proposed use, design, and construction materials of all proposed structures, including floor plans, elevations from all four sides of all significant structures showing exterior configuration, dimensions, finishes, fenestrations, colors and other usual building details,
- m. ___ Location, design, dimensions, and construction materials of all proposed roads, sidewalks, bike paths, pedestrian and bicycle facilities, parking areas, access drives, off-street loading areas, fences, retaining walls, and screening,
- n. ___ Size, location, height, design, and construction materials of all proposed signs and exterior lighting, including type of lighting fixtures and amount and area of illumination of any proposed lighting,
- o. ___ Landscaping plan and planting schedule showing locations, species, and size of proposed plantings, and existing landscaping to be retained, including also location and proposed design of any buffers,
- p. ___ Location, design, and construction materials of all proposed water and sewage facilities,
- q. ___ Location of any existing or proposed fire and other emergency zones, including the location of fire hydrants,
- r. ___ Location, name, and dimensions of each existing or proposed highway and alley and each existing or proposed utility, drainage, or similar easement within, abutting, or in the immediate vicinity of the proposed project site,
- s. ___ Existing and proposed site topography represented by contour lines with intervals as required by the Planning Board, but not to exceed five feet, including a grading plan describing the volumes of cut and fill materials and their composition, and including elevations of proposed buildings, signage, lighting, and other features,
- t. ___ Drainage plan, showing existing and proposed drainage patterns, including a description of method used for analysis, the calculation of drainage area above point of entry for each water course entering or abutting the site, and proposed method of on-site

retention if required, and details of any drainage improvements to be made. Generally, the method of analysis shall be approved by the Director of Engineering and shall assume that, unless the Planning Board determines otherwise for good cause shown, that the rate of surface and subsurface run-off from the project site will not increase during or after construction of the project,

- u. ___ Border lines bounding site plan sheets, one inch from the left edge and one-half inch from each of the other edges. All required information, including signatures, seals, dates and such information shall be within the border lines,
- v. ___ Accurate outlines and descriptions of any areas to be dedicated or reserved for public use or acquisition, with the purposes indicated thereon, and of any areas to be reserved by deed covenant for common uses of all property owners, tenants, or other users of the property in the project,
- w. ___ The plan and profile of each proposed highway in the development, with grade indicated, drawn to a scale of one inch = 50 feet horizontal and one inch = five feet vertical, on standard plan and profile sheets. Profiles shall show accurately the profile of the highway or alley along the highway center line and location of the sidewalks, if any,
- x. ___ Reference on the site plan to any separate instruments, including restrictive covenants, which directly affect the land in the project,
- y. ___ Names and addresses of all property owners of all parcels abutting the site or within 500 feet of the perimeter boundary of the site, including owners of easements or rights-of-way, together with tax parcel numbers for all such owners,
- z. ___ Estimate of the cost of improvements (excluding the purchase cost of land) to be prepared by a licensed professional engineer or other qualified professional satisfactory to the Planning Board,
- aa. ___ Three dark-line prints of the proposed site plan and 25 copies of all sheets of the proposed site plan in reduced format (no larger than 11 inches by 17 inches) and 25 copies of all other items required above (except Development Review Application), and
- bb. ___ A certificate signed by the owner of the land, and, if applicable, any contract vendee to the effect that i) the owner owns the land, ii) the owner or contract vendee caused the land to be surveyed and the site plan to be prepared, iii) the owner (or, if applicable, contract vendee) agrees to construct the project in the manner presented by the finally approved site plan and all related approved application documents, and iv) the owner (or, if applicable, contract vendee) makes any dedications indicated in any of the site plan documentation an agrees and guarantees to construct any required infrastructure elements set forth on the finally approved site plan.
- cc. ___ Where required by Town Code Chapter 228, a stormwater prevention plan or erosion and sedimentation control plan meeting the requirements of Chapter 228.