

ARTICLE VI, SECTION 37. FINAL SUBDIVISION PLAT CHECKLIST

PROJECT NAME _____

PROJECT NUMBER _____

PREPARER _____

- X = **ITEM SUBMITTED**
- W = **WAIVED**
- N/A = **NOT APPLICABLE**
- COND = **CONDITION OF APPROVAL**

The items listed below, unless waived by the Planning Board, must be filed in the Office of the Town Planner or Town Planner’s designee, before an application for a final subdivision approval is deemed complete. These materials shall be filed at least 30 calendar days prior to the Planning Board meeting at which preliminary approval is requested.

1. _____ Completed and signed Development Review Application.
2. _____ Payment of review fees.
3. _____ If required because not submitted with preliminary plat approval or substantial modifications have occurred since preliminary plat approval, one fully completed and signed Short Environmental Assessment Form, Part I (SEAF) or Long Environmental Assessment Form, Part I (LEAF). (See Town Planner as to which to submit.)
4. _____ Owner’s Certificate: A certificate signed by the owner(s) to the effect that he/they own the land, that he caused the land to be surveyed and divided, and that he makes the dedications indicated on the plat.
5. _____ Surveyor’s Certificate: A certificate signed and sealed by a registered land surveyor to the effect that (1) the plat represents a survey made by him, (2) the plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision of it, (3) all monuments indicated on the plat actually exist and their location, size and material are correctly shown, and (4) the requirements of these regulations and New York State laws relating to subdividing and surveying have been complied with.
6. _____ Mortgagor’s Certificate: A certificate signed and sealed by the mortgagor(s), if any, to the effect that he consents to the plat and the dedications and restrictions shown on or referred to on the plat.
7. _____ Two copies of the County Health Department approval of the water supply and/or sewage system.
8. _____ Four full size dark-line prints of the final plat and 25 reduced copies of all sheets of the final plat (the reduced copies to be no larger than 11” by 17”) with the following information:

- a. _____ Highway and alley boundary or right-of-way lines, showing boundary, right-of-way or easement width and any other information needed for locating such lines; purposes of easements.
- b. _____ Highway center lines, showing angle of deflection, angles of intersection, radii, lengths of tangents and arcs, and degree of curvature, with basis of curve data. Lengths and distances shall be to the nearest one hundredth foot. Angles shall be to the nearest half minute.
- c. _____ Highway names.
- d. _____ Location, name, and dimensions of each existing highway and alley and each utility, drainage, or similar easement within, abutting, or in the immediate vicinity of the proposed subdivision.
- e. _____ Exact boundary lines of the tract, indicated by a heavy line, giving the dimensions to the nearest one hundredth foot, angles to the nearest one-half minute, and at least one bearing; the traverse shall be balanced and closed with an error of closure not to exceed one to two thousand; the type of closure shall be noted.
- f. _____ Location and description of all section line corners and government survey monuments in or near the subdivision, to at least one of which the subdivision shall be referenced by true courses and distances.
- g. _____ Location of property by legal description, including areas in acres or square feet. Source of title, including deed record book and page numbers.
- h. _____ Name and address of all owners of the property and name and address of all persons who have an interest in the property, such as easements or rights-of-way.
- i. _____ Name(s) and address (es) of the subdivider(s), if the subdivider(s) is (are) not the owner(s).
- j. _____ Accurate locations and descriptions of all subdivision monuments.
- k. _____ Accurate outlines and descriptions of any areas to be dedicated or reserved for public use or acquisition, with the purposes indicated thereon; any areas to be reserved by deed covenant for common uses of all property owners in the subdivision.
- l. _____ Building setback lines with dimensions.
- m. _____ Lot lines, fully dimensional, with lengths to the nearest one-hundredth foot and angles or bearings to the nearest one-half minute.

- n. _____ Width at building line of lots located on a curve or having non-parallel side lines, when required by the Planning Board.
 - o. _____ Names and addresses of owners of all parcels abutting the proposed subdivision.
 - p. _____ Names of recorded subdivisions abutting the proposed subdivision.
 - q. _____ The blocks are numbered consecutively throughout the subdivision and the lots are numbered consecutively throughout each block.
 - r. _____ Key map, when more than one sheet is required to present plat.
 - s. _____ Vicinity map showing the general location of the property, 1"=1000' or 1"=2000'.
 - t. _____ Name of subdivision, which shall not duplicate the name of any other subdivision in the county.
 - u. _____ Name and seal of the registered land surveyor or engineer who prepared the topographic information. Date of survey.
 - v. _____ Name and seal of registered land surveyor who made the boundary survey. Date of survey.
 - w. _____ Name(s) and address (es) of the owner(s).
 - x. _____ Map scale (1"=50' or 1"=100') in Bar Form and north point.
 - y. _____ Date of plat and any applicable revision dates.
 - z. _____ Name of town, county and state.
 - a1. _____ Border lines bounding the sheet, one inch from the left edge and one-half inch from each of the other edges; all information, including all plat lines, lettering, signatures, and seals, shall be within the border lines.
 - b1. _____ Reference on the plat to any separate instruments, including restrictive covenants, which directly affect the land in the subdivision.
 - c1. _____ One original or mylar copy of the plat to be recorded and three dark-line prints, on one or more sheets.
9. _____ Certification signed by the Chairman or other designated official or agent of the Planning Board to the effect that the plat was given preliminary approval by the Planning Board.

SECTION 38. IMPROVEMENT PLANS AND RELATED INFORMATION

10. Where improvements are required for a proposed subdivision, the following documents shall be submitted to the Planning Department.

_____ Detailed construction plans and specifications for water lines, including locations and descriptions of mains, valves, hydrants, appurtenances, etc.

_____ Detailed construction plans, profiles, and specifications for sanitary sewers and storm drainage facilities, including locations and descriptions of pipes, manholes, lift stations, and other facilities.

_____ Highway paving plans and specifications.

_____ The estimated cost of:

- a. _____ Grading and filling,
- b. _____ Culverts, swales and other storm drainage facilities,
- c. _____ Sanitary sewers,
- d. _____ Water lines, valves and fire hydrants,
- e. _____ Paving, curbs, gutters and sidewalks,
- f. _____ Any other improvements required by Town of Ithaca Subdivision Regulations.

_____ The plan and profile of each proposed highway in the subdivision, with grade indicated, drawn to a scale of 1" = 50' horizontal, and 1" = 5' vertical, on standard plan and profile sheets. Profiles shall show accurately the profile of the highway or alley along the highway center line and location of the sidewalks, if any.